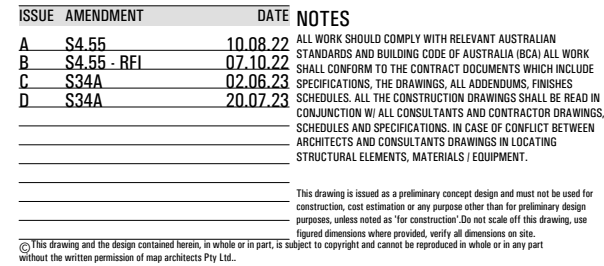


COVER SHEET/SITE ANALYSIS	A0000
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SITE PLAN/CMP/SCP	A0002
STREETSCAPE	A0003
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SETBACK CALCULATIONS	A0005
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GROUND FLOOR PLAN	A2101
FIRST FLOOR PLAN	A2102
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CUT/FILL AREA PLAN GARAGE	A8007
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PERSPECTIVES	A9000



COMPONENT SCHEDULE:
DEMOLITION

REFER TO SPECIFICATION AND
SCHEDULE FOR FURTHER DETAILS

DE: DEMOLITION
DE ELEMENTS TO BE DEMOLISHED

LEGEND
DEMOLITION

EXTENT OF BUILT WORKS REMOVED

NOTES
THIS DRAWING IS TO BE READ IN CONJUNCTION WITH
DEMOLITION SPECIFICATION, SCHEDULES,
ENVIRONMENTAL MANAGEMENT PLAN & DA CONSENT
CONDITIONS

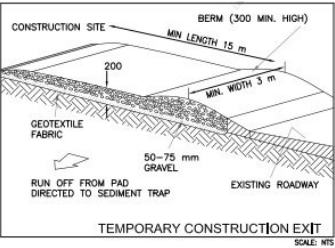
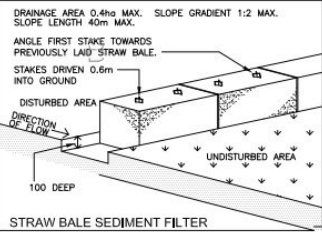
THE PUBLIC FOOTWAYS & ROADWAYS ADJACENT TO THE
SITE SHALL BE MAINTAINED AT ALL TIMES DURING THE
COURSE OF THE WORK IN A SAFE CONDITION.

LIGHTING, FENCING, TRAFFIC CONTROL & ADVANCED
WARNING SIGNS SHALL BE PROVIDED FOR THE
PROTECTION OF THE WORKS & THE SAFETY &
CONVENIENCE OF THE PUBLIC TO THE SATISFACTION OF
THE PCA & IN ACCORDANCE WITH COUNCIL'S STANDARD
SPECIFICATION FOR ENGINEERING WORKS. TRAFFIC
MOVEMENT IN BOTH DIRECTIONS ON PUBLIC ROADS, AND
VEHICLE ACCESS TO PRIVATE PROPERTIES IS TO BE
MAINTAINED AT ALL TIMES DURING THE WORKS

DEMOLITION WORKS SHALL BE RESTRICTED TO WITHIN
THE HOURS OF 8.00AM TO 5.00PM MONDAY TO FRIDAY
ONLY. THE BUILDER SHALL DISPLAY ON-SITE, THEIR 24
HOUR CONTACT NUMBER, WHICH IS CLEARLY VISIBLE &
LEGIBLE FROM ANY PUBLIC PLACE ADJOINING THE SITE
NOISE EMISSIONS & VIBRATIONS TO BE MINIMISED WHERE
POSSIBLE & WORK TO BE CARRIED OUT IN ACCORDANCE
WITH EPA GUIDLINES & COMPLY WITH THE PROTECTION
OF THE ENVIRONMENTAL OPERATIONS ACT 1997.

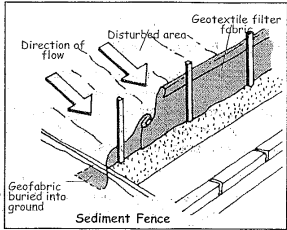
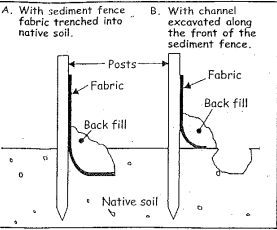
ALL PLANT & EQUIPMENT USED DURING DEMOLITION
SHALL BE SITUATED WITHIN THE BOUNDARIES OF THE
SITE AND PLACED SO THAT ALL SLURRY, WATER AND
DEBRIS SHALL BE DISCHARGED & CONTAINED ON SITE.

SEDIMENT CONTROL MEASURES TO BE
INSTALLED PRIOR TO COMMENCING WORK



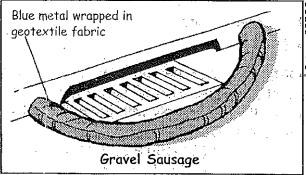
Sediment Fences

- Sediment Fences should be installed downslope to treat site run-off.
- To be effective they need to be installed properly and maintained regularly.



Gutter Protection

As a precautionary measure, sediment controls such as gravel sausages, gravel bags or sand bags should be installed around stormwater inlets if there is a risk of untreated run-off entering the waterways.



CONTRACTOR PRIOR TO THE COMMENCEMENT OF
WORKS WILL INSTALL, MAINTAIN & IMPLEMENT SOIL &
SEDIMENT CONTROL MEASURES AT ALL TIMES. THE
MEASURES TO REMAIN IN PROPER OPERATION UNTIL ALL
DEVELOPMENT ACTIVITIES HAVE BEEN COMPLETED &
THE SITE FULLY STABILISED

TOILET FACILITIES TO BE PROVIDED DURING DEMOLITION
& CONSTRUCTION, AT A RATE OF 1 TOILET TO 20
PERSONS OR PART PERSONS ON SITE.

DEMOLITION MUST BE UNDERTAKEN IN ACCORDANCE
WITH PROVISIONS OF AS2601- DEMOLITION OF
STRUCTURES.

ALL EXISTING WALL FIXINGS, EXPOSED SERVICES, WIRING
ETC. NOT REUSED TO BE CAPPED OFF & MADE SAFE, IN
ACCORDANCE WITH DEMOLITION SPECIFICATION. ALL FILL
& VEGETATION TO EXISTING PLANTERS TO BE REMOVED
& ANY SERVICE CAPPED
WHERE WALLS ARE TO BE REMOVED & NOT REPLACED,
THE EXISTING WALLS TO BE MADE GOOD

WORK MUST SATISFY APPLICABLE OCCUPATIONAL
HEALTH & SAFETY, & CONSTRUCTION SAFETY
REGULATIONS, INCLUDING ANY WORK COVER AUTHORITY
REQUIREMENTS. SITE FENCE TO BE INSTALLED TO
EXCLUDE PUBLIC FROM SITE. SAFETY SIGNS MUST BE
ERECTED TO WARN PUBLIC TO KEEP OFF SITE AND
PROVIDE A TELEPHONE CONTACT NUMBER FOR
ENQUIRIES.

WORK COVER AUTHORITY TO BE NOTIFIED IMMEDIATELY
IF ANY PART OF THE BUILDING BEING DEMOLISHED OR
REMOVED IS IDENTIFIED OR SUSPECTED OF CONTAINING
ASBESTOS. THE REQUIREMENTS & STANDARDS IMPOSED
BY THE AUTHORITY, ITS CONSULTANTS OR
CONTRACTORS SHALL BE COMPLIED WITH. IF REQUIRED
CONTRACTOR SHALL ENGAGE QUALIFIED CONSULTANT
TO UNDERTAKE ASBESTOS & LEAD PAINT
CONTAMINATION SURVEY AND REPORT, AND PROVIDE A
CLEARANCE CERTIFICATE ON COMPLETION.
CONTRACTOR TO RETAIN AND RECORD ALL TIPPING
DOCKETS/ RECEIPTS

LOT 1
DP 399066

LOT C
DP 388916

LOT 15
DP 666585

LOT 16
DP 666585

SP 34729

DEMOLITION PLAN

1:200

LEGEND:

ISSUE	AMENDMENT	DATE	NOTES
A	BIC	15.05.23	ALL WORK SHOULD COMPLY WITH RELEVANT AUSTRALIAN STANDARDS AND BUILDING CODE OF AUSTRALIA (BCA) ALL WORK SHALL CONFORM TO THE CONTRACT DOCUMENTS WHICH INCLUDE SPECIFICATIONS, THE DRAWINGS, ALL ADDENDUMS, FINISHES SCHEDULES. ALL THE CONSTRUCTION DRAWINGS SHALL BE READ IN CONJUNCTION W/ ALL CONSULTANTS AND CONTRACTOR DRAWINGS, SCHEDULES AND SPECIFICATIONS. IN CASE OF CONFLICT BETWEEN ARCHITECT'S AND CONSULTANTS DRAWINGS IN LOCATING STRUCTURAL ELEMENTS, MATERIALS / EQUIPMENT.

This drawing is issued as a preliminary concept design and must not be used for construction, cost estimation or any purpose other than for preliminary design purposes, unless noted as 'for construction'. Do not scale off this drawing, use figured dimensions where provided, verify all dimensions on site.

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MAP
ARCHITECTS

Nominated NSW Architects Reg. 9401 - Mark P. Alves
ABN: 37 615 694 356
Suite 4, Building B, 37 Alexandra St. Hunters Hill 2110

p: 02 8065 6975
e: mark@maparch.com.au
www.maparch.com.au

project 36 BERESFORD RD

ROSE BAY

drawing

DEMOLITION PLAN

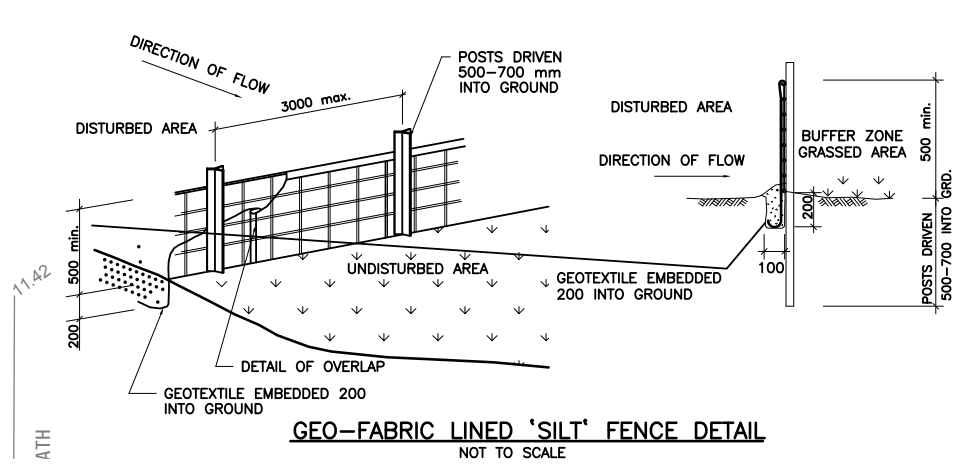
drawn SM checked MA

date 15.05.23 scale 1:100 @ A3

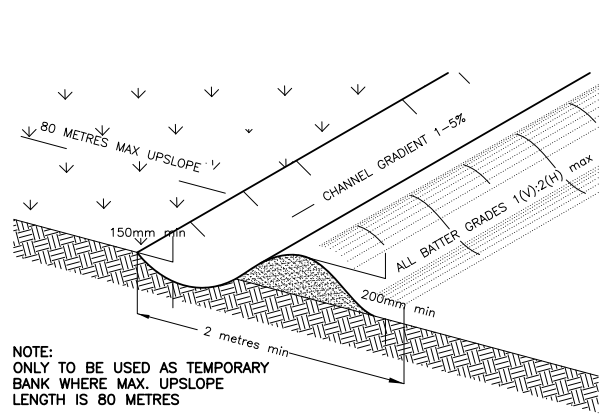
project no 2_21_14 drawing no A0001 issue A



EXAMPLE OF TREE PROTECTION SIGNAGE



GEO-FABRIC LINED 'SILT' FENCE DETAIL
NOT TO SCALE



EARTH BANK (LOW FLOWS) DETAIL
NOT TO SCALE

Site Access

Provide a single stabilised entry/exit point.

Sediment or building waste should be removed from the road by sweeping, shovelling or sponging; not washing.

Diversion of Water

Divert run off away from disturbed areas and stockpiles using banks and channels. Run off should be treated (by sediment fence or the like) before leaving the site.

Roof Water Drainage

Connect temporary or permanent downpipes to the storm water system as soon as the roof is complete, to reduce site wetness.

Dust Controls

Minimise disturbances.

Cover stockpiles.

Use water when necessary, but control run off.

DETAIL 1

Sedimentation Fences

Fences should be installed down slope to treat site run-off.

To be effective, they need to be installed properly and maintained regularly.

DETAIL 2

Gutter Protection

Gravel Sausages, gravel bags or sand bags should be installed around storm water inlets to reduce the risk of untreated run off entering the waterways.

DETAIL 3

Stockpiles

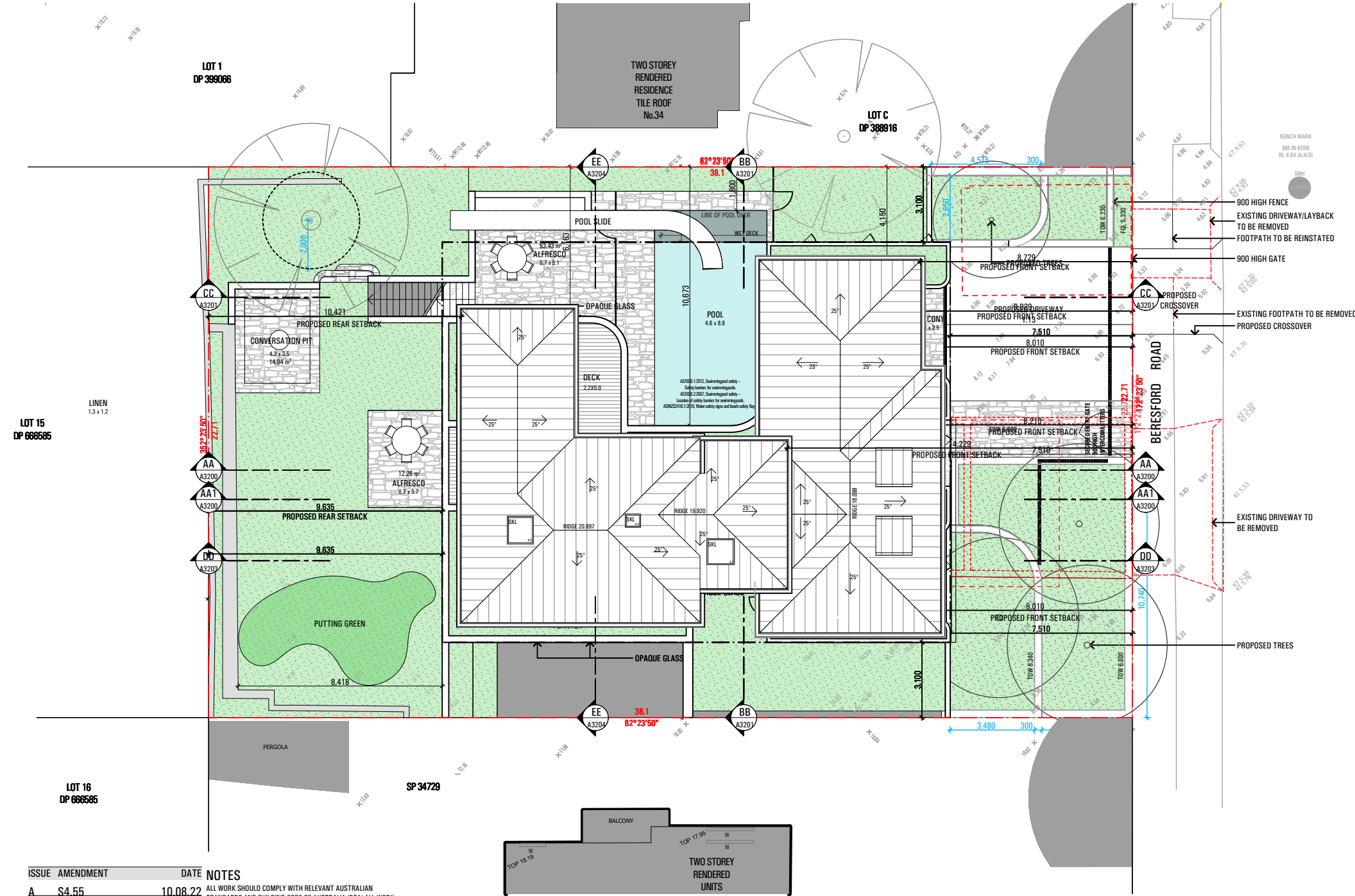
Stockpiles should be located upslope away from drainage lines.

Run off should be diverted away from the stockpile.

Protect stockpiles with waterproof covering.

Install a sediment control device on the downslope side of the stockpile.

Stockpiles must not be stored on footpaths.

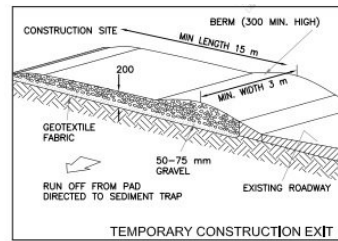
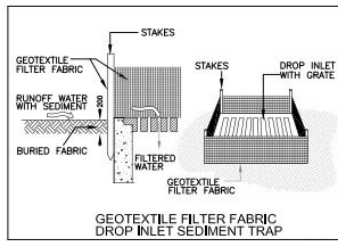
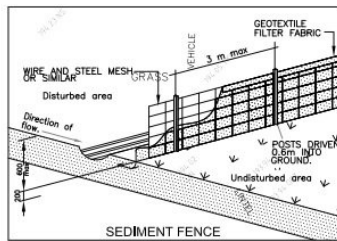
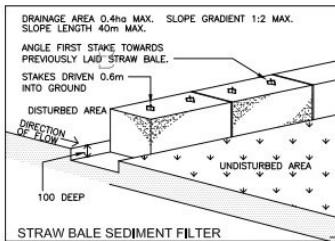


ISSUE AMENDMENT DATE NOTES

ISSUE	AMENDMENT	DATE	NOTES
A	S4.55	10.08.22	ALL WORK SHOULD COMPLY WITH RELEVANT AUSTRALIAN STANDARDS AND BUILDING CODE OF AUSTRALIA (BCA) ALL WORK SHALL CONFORM TO THE CONTRACT DOCUMENTS WHICH INCLUDE SPECIFICATIONS, THE DRAWINGS, ALL ADDENDUMS, FINISHES SCHEDULES. ALL THE CONSTRUCTION DRAWINGS SHALL BE READ IN CONJUNCTION W/ ALL CONSULTANTS AND CONTRACTOR DRAWINGS, SCHEDULES AND SPECIFICATIONS. IN CASE OF CONFLICT BETWEEN ARCHITECTS AND CONSULTANTS DRAWINGS IN LOCATING STRUCTURAL ELEMENTS, MATERIALS / EQUIPMENT.
B	S4.55 - RFI	07.10.22	
C	S34A	02.06.23	
D	S34A	20.07.23	

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Nominated NSW Architects Reg. 9401 - Mark P. Alves
ABN: 37 615 694 356
Suite 4, Building B, 37 Alexandra St. Hunters Hill 2110

p: 02 8065 6975
e: mark@maparch.com.au
www.maparch.com.au

project	36 BERESFORD RD ROSE BAY
drawing	SITE PLAN/CMPI/SCP checked MA
drawn	SM
date	20.07.23
scale	1:100 @ A3
project no	2_21_14
drawing no	A0002
issue	D



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_____ construction, cost estimation or any purpose other than for preliminary design
_____ purposes, unless noted as 'for construction'. Do not scale off this drawing, use
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ABN: 37 615 694 356
Suite 4, Building B, 37 Alexandra St. Hunters Hill 2110

p: 02 8065 6975
e: mark@maparch.com.au
www.maparch.com.au

project **36 BERESFORD RD**
ROSE BAY

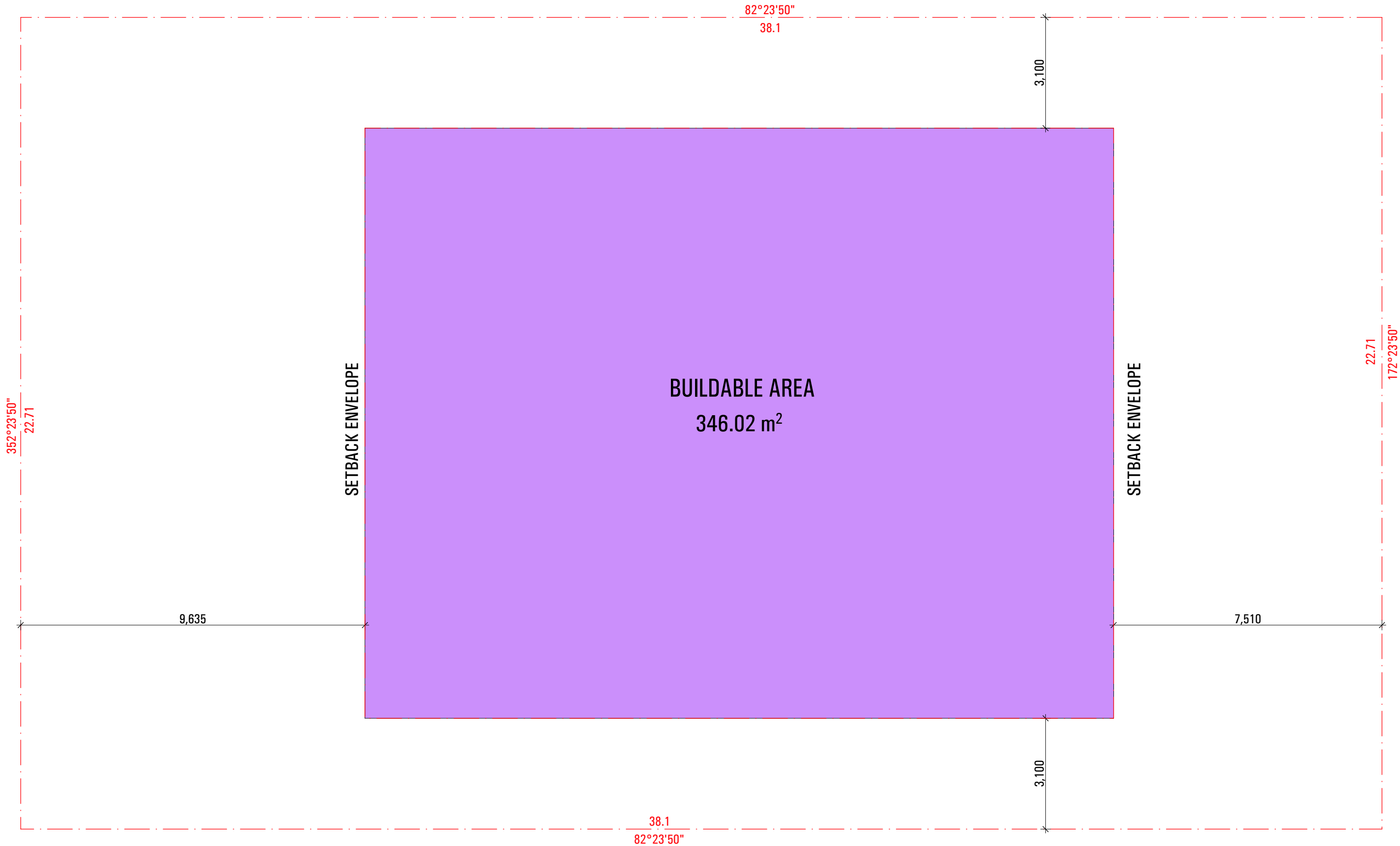
drawing _____


STREETSCAPE

drawn **SM** checked **MA**

date **20.07.23** scale **1:100 @ A3**

project no **2_21_14** drawing no **A0003** issue **D**





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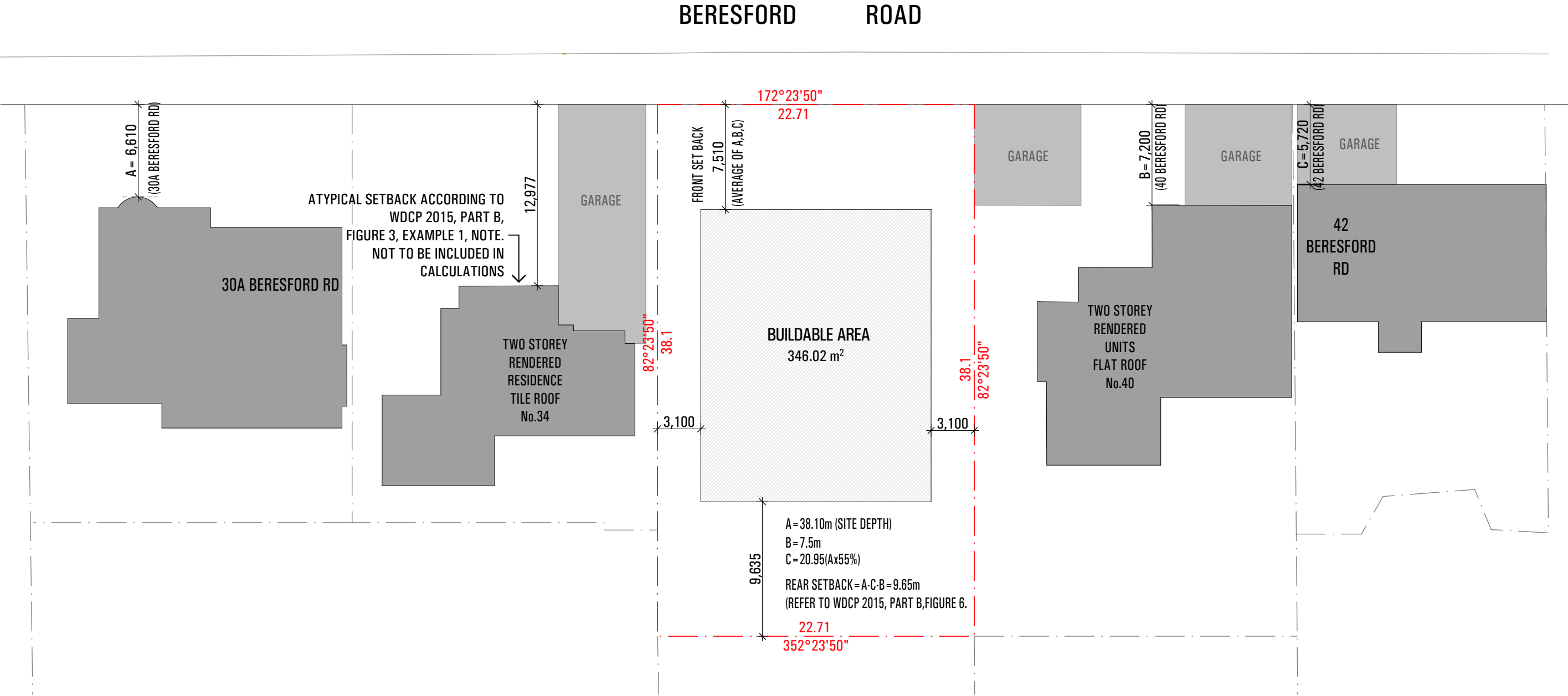
p: 02 8065 6975
e: mark@maparch.com.au
www.maparch.com.au


project			36 BERESFORD RD ROSE BAY		
drawing			BUILDABLE AREA SINGLE DWELLING		
drawn	SM	checked	MA		
date	20.07.23	scale	1:100 @ A3		
project no	2_21_14	drawing no	A0004	issue	D

WDCP B3.2.2 FRONT SETBACK

C1 The front setback of the building envelope is determined by averaging the three most typical setbacks of the four closest residential buildings that face the same side of the street

Each is determined by the distance between the primary street boundary and the outside face of the front of the building wall or any protruding balcony deck or the likes (excluding parking strctures





project

36 BERESFORD RD
ROSE BAY

drawing

SETBACK CALCULATIONS

drawn

SM

checked

MA

date

20.07.23

scale

1:300@ A3

project no

2_21_14

drawing no

A0005

issue

D

Nominated NSW Architects Reg. 9401 - Mark P. Alves
ABN: 37 615 694 356
Suite 4, Building B, 37 Alexandra St. Hunters Hill 2110

p: 02 8065 6975
e: mark@maparch.com.au
www.maparch.com.au

Single Dwelling


Certificate number: 1230283S_03

This certificate confirms that the proposed development will meet the NSW government's requirements for sustainability, if it is built in accordance with the commitments set out below. Terms used in this certificate, or in the commitments, have the meaning given by the document entitled "BASIX Definitions" dated 10/09/2020 published by the Department. This document is available at www.basix.nsw.gov.au

Secretary
Date of issue: Wednesday, 14 September 2022
To be valid, this certificate must be lodged within 3 months of the date of issue.

 | Planning.

Water Commitments	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
Fixtures			
The applicant must install showerheads with a minimum rating of 4 star (> 4.5 but <= 6 L/min plus spray force and/or coverage tests) in all showers in the development.		✓	✓
The applicant must install a toilet flushing system with a minimum rating of 3 star in each toilet in the development.		✓	✓
The applicant must install taps with a minimum rating of 3 star in the kitchen in the development.		✓	
The applicant must install basin taps with a minimum rating of 3 star in each bathroom in the development.		✓	
Alternative water			
Rainwater tank			
The applicant must install a rainwater tank of at least 3500 litres on the site. This rainwater tank must meet, and be installed in accordance with, the requirements of all applicable regulatory authorities.	✓	✓	✓
The applicant must configure the rainwater tank to collect rain runoff from at least 174 square metres of the roof area of the development (excluding the area of the roof which drains to any stormwater tank or private dam).		✓	✓
The applicant must connect the rainwater tank to: <ul style="list-style-type: none">all toilets in the development		✓	✓
<ul style="list-style-type: none">the cold water tap that supplies each clothes washer in the development		✓	✓
<ul style="list-style-type: none">at least one outdoor tap in the development (Note: NSW Health does not recommend that rainwater be used for human consumption in areas with potable water supply.)		✓	✓
<ul style="list-style-type: none">a tap that is located within 10 metres of the swimming pool in the development		✓	✓
Swimming pool			
The swimming pool must not have a volume greater than 64 kilolitres.	✓	✓	
The swimming pool must be outdoors.	✓	✓	

Project Specification	Form # AE0.5	Australian Energy Efficiency Consulting E:info@aenec.com.au P:0416 316 204	 www.aenec.com.au
Project Address: 36 Beresford Road Rose Bay BASIX CERTIFICATION NUMBER: 1230283S_03			
This Project Specification outlines ONLY some of the NatHERS commitments. For the full list of specifications and construction allocations, you must refer to the corresponding NatHERS document that has been provided.			

External Walls Specification:				
Type	Material	Added Insulation	Colour**	Detail
Masonry	Concrete Block	Nil	Medium	As per drawings, retaining walls
Masonry	Concrete Block	R1.43	White	As per drawings
Masonry	Brick Cavity	R1.60	White	As per drawings
Internal Walls specification:				
Type	Material	Added Insulation	Colour**	Detail
Masonry	PB	Nil	-	As per drawings
Masonry	PB	R2.00	-	BS to unconditioned spaces
Roof Specification:				
Type	Material	Added Insulation	Colour**	Detail
Masonry	Concrete	R4.00	Medium	As per drawings, Balconies
Tiled	Concrete tile	Nil	Dark	Tiled Roof
Floors/Ceilings Specification:				
Type	Material	Added Insulation	Covering	Detail
Masonry	Concrete	Nil	As per drawings	Slab on ground
Masonry	Concrete	R2.00	As per drawings	Slab on ground, Entry, Entry Corridor, KLD
Masonry	Concrete	Nil	As per drawings	Internal Floors
Masonry	Concrete	R2.00	As per drawings	GF Internal Floors, conditioned to unconditioned spaces
Framed	Plasterboard	R4.00	Nil	Ceilings below roof spaces
Windows Specification*				
Frame material	Glazing	U Value	SHGC	Detail
Aluminum	-	4.10 or Lower	0.52+ -5%	Refer to NatHERS for more info
Aluminum	-	4.10 or Lower	0.47+ -5%	Refer to NatHERS for more info
Ceiling Fans				
GYM(2*1800mm), KLD(3*2100mm), MEDIA/BAR(3*1800mm), HALL FF-BED1-BED3-BED4-BED5(1*1800mm)				
* NOTE: WINDOW PERFORMANCE IS DETERMINED BY U-VALUE AND SHGC NOT THE SYSTEM DESCRIPTION. THESE PERFORMANCE FIGURES CAN BE ACHIEVED BY MULTIPLE WINDOW/DOOR SYSTEMS AND THEIR DESCRIPTION IN THE NATHERS IS SECONDARY. FOCUS OF THE PERFORMANCE VALUES.				
** LIGHT COLOR INSTALLATIONS HAVE SOLAR ABSORBANCE BEING LOWER THAN 0.47%. MEDIUM COLOR INSTALLATIONS HAVE SOLAR ABSORBANCE BEING BETWEEN 0.47% AND 0.700. DARK COLOR INSTALLATIONS HAVE SOLAR ABSORBANCE BEING HIGHER THAN 0.701.				
IT IS ILLEGAL TO COPY/PASTE NATHERS STAMPS FROM STAMPED DRAWINGS TO ANOTHER DRAWING SET, EVEN IF THIS IS FOR THE SAME PROJECT. NATHERS CERTIFICATES ARE ISSUED FOR THE SPECIFIC DRAWING VERSION AND DATE OF ISSUE AND ARE VALID ONLY FOR THIS PARTICULAR VERSION. IF YOU UPDATE DRAWINGS, YOU MUST UPDATE THE NATHERS CERTIFICATE AS WELL.				

Energy Commitments	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
Hot water			
The applicant must install the following hot water system in the development, or a system with a higher energy rating: gas instantaneous with a performance of 5 stars.	✓	✓	✓
Cooling system			
The applicant must install the following cooling system, or a system with a higher energy rating, in at least 1 living area: 1-phase airconditioning; Energy rating: 5 star (average zone)		✓	✓
The applicant must install the following cooling system, or a system with a higher energy rating, in at least 1 bedroom: 1-phase airconditioning; Energy rating: 5 star (average zone)		✓	✓
The cooling system must provide for day/night zoning between living areas and bedrooms.		✓	✓
Heating system			
The applicant must install the following heating system, or a system with a higher energy rating, in at least 1 living area: 1-phase airconditioning; Energy rating: 5 star (average zone)		✓	✓
The applicant must install the following heating system, or a system with a higher energy rating, in at least 1 bedroom: 1-phase airconditioning; Energy rating: 5 star (average zone)		✓	✓
The heating system must provide for day/night zoning between living areas and bedrooms.		✓	✓
Ventilation			
The applicant must install the following exhaust systems in the development: At least 1 Bathroom: individual fan, ducted to façade or roof; Operation control: manual switch on/off Kitchen: individual fan, ducted to façade or roof; Operation control: manual switch on/off Laundry: individual fan, ducted to façade or roof; Operation control: manual switch on/off		✓ ✓ ✓	✓ ✓ ✓
Artificial lighting			
The applicant must ensure that the "primary type of artificial lighting" is fluorescent or light emitting diode (LED) lighting in each of the following rooms, and where the word "dedicated" appears, the fittings for those lights must only be capable of accepting fluorescent or light emitting diode (LED) lamps: <ul style="list-style-type: none">at least 5 of the bedrooms / study; dedicatedat least 4 of the living / dining rooms; dedicatedthe kitchen; dedicatedall bathrooms/toilets; dedicatedthe laundry; dedicatedall hallways; dedicated		✓ ✓ ✓ ✓ ✓ ✓	✓ ✓ ✓ ✓ ✓ ✓
Natural lighting			
The applicant must install a window and/or skylight in the kitchen of the dwelling for natural lighting.	✓	✓	✓
The applicant must install a window and/or skylight in 4 bathroom(s)/toilet(s) in the development for natural lighting.	✓	✓	✓
Swimming pool			
The development must not incorporate any heating system for the swimming pool.		✓	
The applicant must install a timer for the swimming pool pump in the development.		✓	
Alternative energy			
The applicant must install a photovoltaic system with the capacity to generate at least 1.4 peak kilowatts of electricity as part of the development. The applicant must connect this system to the development's electrical system.	✓	✓	✓
Other			
The applicant must install a gas cooktop & electric oven in the kitchen of the dwelling.		✓	
The applicant must construct each refrigerator space in the development so that it is "well ventilated", as defined in the BASIX definitions.		✓	
The applicant must install a fixed indoor or sheltered clothes drying line as part of the development.		✓	

CAUTION – ALL OF THE ITEMS BELOW MUST BE ADHERED BY
FOR NATHERS TO BE VALID

NOTES:

- ALL DOWNLIGHTS TO BE:
 - APPROVED NON-VENTILATED
 - WITH FIRE-RATED COVER/SHIELD TO ALLOW CONTINUOUS INSULATION LED TYPE. IF HALOGEN LIGHT ARE TO BE INSTALLED THIS CERTIFICATION IS NOT VALID
- ALL VENTS AND WALL OPENINGS INSTALLED TO BE "THE SEALED" TYPE
- ALL INSULATION IS TO BE INSTALLED IN ACCORDANCE NCC PART 3.12.1.1
 - CREATION OF CONTINUOUS THERMAL BARRIER
 - COMPLIANCE WITH AS4859
 - MAINTAINING THICKNESS OF BULK INSULATION AND AIR GAPS FOR REFLECTIVE INSULATION
- BUILDING SEALING AS PER NCC PART 3.12.3
 - WEATHER SEALS AND DRAFT EXCLUDERS
 - DRAFT STOPPER CAPS
- SERVICES AS RER NCC PART 3.12.5
 - INSULATION OF SERVICES, PIPING AND DUCTWORK

REFER TO CORRESPONDING NATHERS CERTIFICATE(S) FOR CORRECT WINDOW SPECIFICATIONS / ALLOCATIONS (SEE AE.05 FORM FOR DETAIL)

Nationwide House Energy Rating Scheme
NatHERS Certificate No. #HR-O5VTXX-01

Generated on 14 Sept 2022 using Hero 3.0.1

Property

Address 36 Beresford Road, Rose Bay, NSW, 2029
Lot/DP 1/538009
NCC Class* 1a
Type New

Plans

Main Plan 2_21_14/A-10.08.22
Prepared by MA/EH

Construction and environment

Assessed floor area (m²)*
Conditioned* 488.9
Unconditioned* 48.7
Total 670.3
Garage 132.7
Exposure Type Suburban
NatHERS climate zone 56 - Mascot AMO



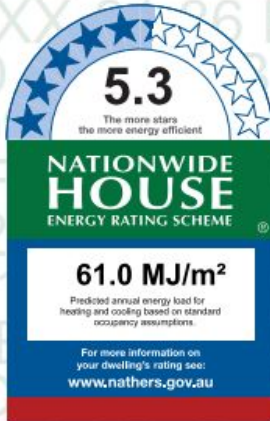
Accredited assessor

Name Ioannis Fragkoulidis
Business name WIDE SPECTRUM PTY LTD
Email yanni.aenec@gmail.com
Phone +61 452648288
Accreditation No. 10002
Assessor Accrediting Organisation HERA
Declaration of interest No Conflict of Interest

National Construction Code (NCC) requirements

The NCC's requirements for NatHERS-rated houses are detailed in 3.12.0(a)(i) and 3.12.5 of the NCC Volume Two. For apartments the requirements are detailed in J0.2 and J5 of the NCC Volume One.
In NCC 2019, these requirements include minimum star ratings and separate heating and cooling load limits that need to be met by buildings and apartments through the NatHERS assessment. Requirements additional to the NatHERS assessment that must also be satisfied include, but are not limited to: insulation installation methods, thermal breaks, building sealing, water heating and pumping, and artificial lighting requirements. The NCC and NatHERS Heating and Cooling Load Limits (Australian Building Codes Board Standard) are available at www.abcb.gov.au.
State and territory variations and additions to the NCC may also apply.

* Refer to glossary.



Thermal Performance

Heating 36.4 MJ/m²
Cooling 24.6 MJ/m²

About the rating

NatHERS software models the expected thermal energy loads using information about the design and construction, climate and common patterns of household use. The software does not take into account appliances, apart from the airflow impacts from ceiling fans.

Verification

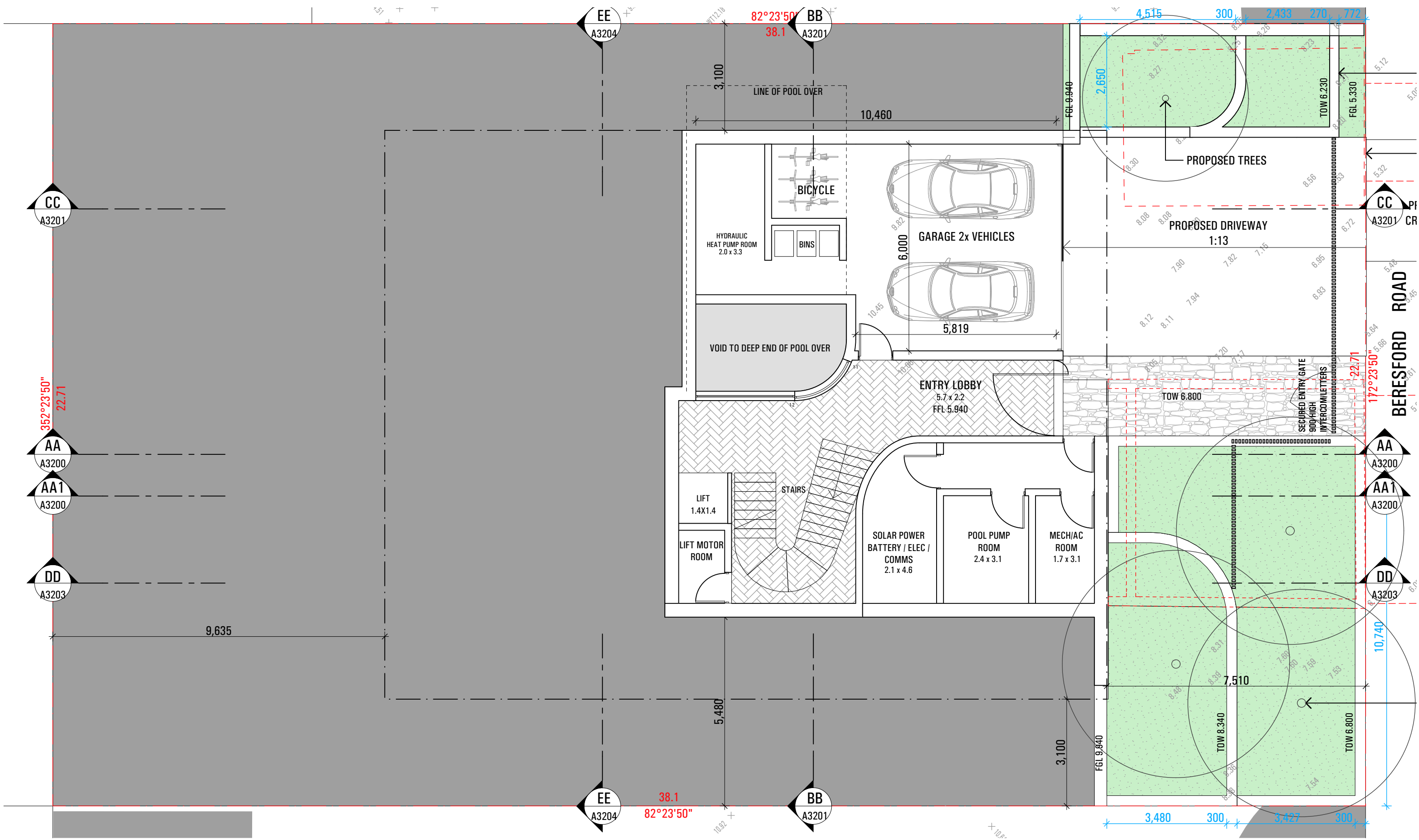
To verify this certificate, scan the QR code or visit <http://www.hero-software.com.au/pdf/HR-O5VTXX-01>. When using either link, ensure you are visiting <http://www.hero-software.com.au>



Nominated NSW Architects Reg. 9401 - Mark P. Alves
ABN: 37 615 694 356
Suite 4, Building B, 37 Alexandra St. Hunters Hill 2110

p: 02 8065 6975
e: mark@maparch.com.au
www.maparch.com.au

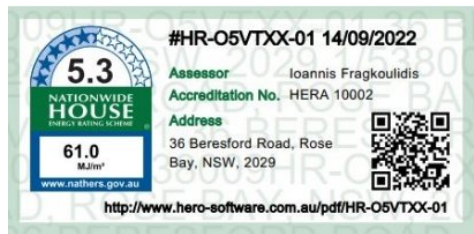
project	36 BERESFORD RD ROSE BAY
drawing	
drawn	SM
checked	MA
date	20.07.23
scale	@ A3
project no	2_21_14
drawing no	A0006
issue	D



ISSUE	AMENDMENT	DATE	NOTES
A	S4.55	10.08.22	ALL WORK SHOULD COMPLY WITH RELEVANT AUSTRALIAN STANDARDS AND BUILDING CODE OF AUSTRALIA (BCA) ALL WORK SHALL CONFORM TO THE CONTRACT DOCUMENTS WHICH INCLUDE SPECIFICATIONS, THE DRAWINGS, ALL ADDENDUMS, FINISHES SCHEDULES. ALL THE CONSTRUCTION DRAWINGS SHALL BE READ IN CONJUNCTION W/ ALL CONSULTANTS AND CONTRACTOR DRAWINGS, SCHEDULES AND SPECIFICATIONS. IN CASE OF CONFLICT BETWEEN ARCHITECTS AND CONSULTANTS DRAWINGS IN LOCATING STRUCTURAL ELEMENTS, MATERIALS / EQUIPMENT.
B	S4.55 - RFI	07.10.22	
C	S34A	02.06.23	
D	S34A	20.07.23	

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
Nominated NSW Architects Reg. 9401 - Mark P. Alves
ABN: 37 615 694 356
Suite 4, Building B, 37 Alexandra St. Hunters Hill 2110

p: 02 8065 6975
e: mark@maparch.com.au
www.maparch.com.au

project	36 BERESFORD RD
drawing	ROSE BAY
drawn	SM
checked	MA
date	20.07.23
scale	1:100 @ A3
project no	2_21_14
drawing no	A2100
issue	D

PRELIMINARY



project		36 BERESFORD RD	
		ROSE BAY	
		drawing	
		EAST ELEVATION	
drawn SM		checked MA	
date 20.07.23		scale 1:100 @ A3	
project no		drawing no	
2 21 14		A3100	
		issue	
		D	



NORTH ELEVATION

1:100



ISSUE	AMENDMENT	DATE	NOTES
A	S4.55	10.08.22	ALL WORK SHOULD COMPLY WITH RELEVANT AUSTRALIAN STANDARDS AND BUILDING CODE OF AUSTRALIA (BCA) ALL WORK SHALL CONFORM TO THE CONTRACT DOCUMENTS WHICH INCLUDE SPECIFICATIONS, THE DRAWINGS, ALL ADDENDUMS, FINISHES SCHEDULES. ALL THE CONSTRUCTION DRAWINGS SHALL BE READ IN CONJUNCTION W/ ALL CONSULTANTS AND CONTRACTOR DRAWINGS, SCHEDULES AND SPECIFICATIONS. IN CASE OF CONFLICT BETWEEN ARCHITECTS AND CONSULTANTS DRAWINGS IN LOCATING STRUCTURAL ELEMENTS, MATERIALS / EQUIPMENT.
B	S4.55 - RFI	07.10.22	
C	S34A	02.06.23	
D	S34A	20.07.23	

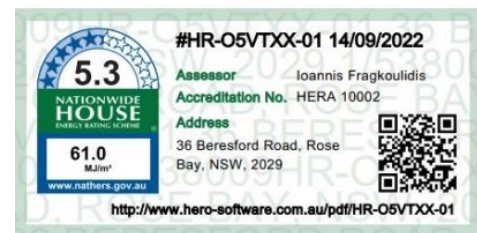
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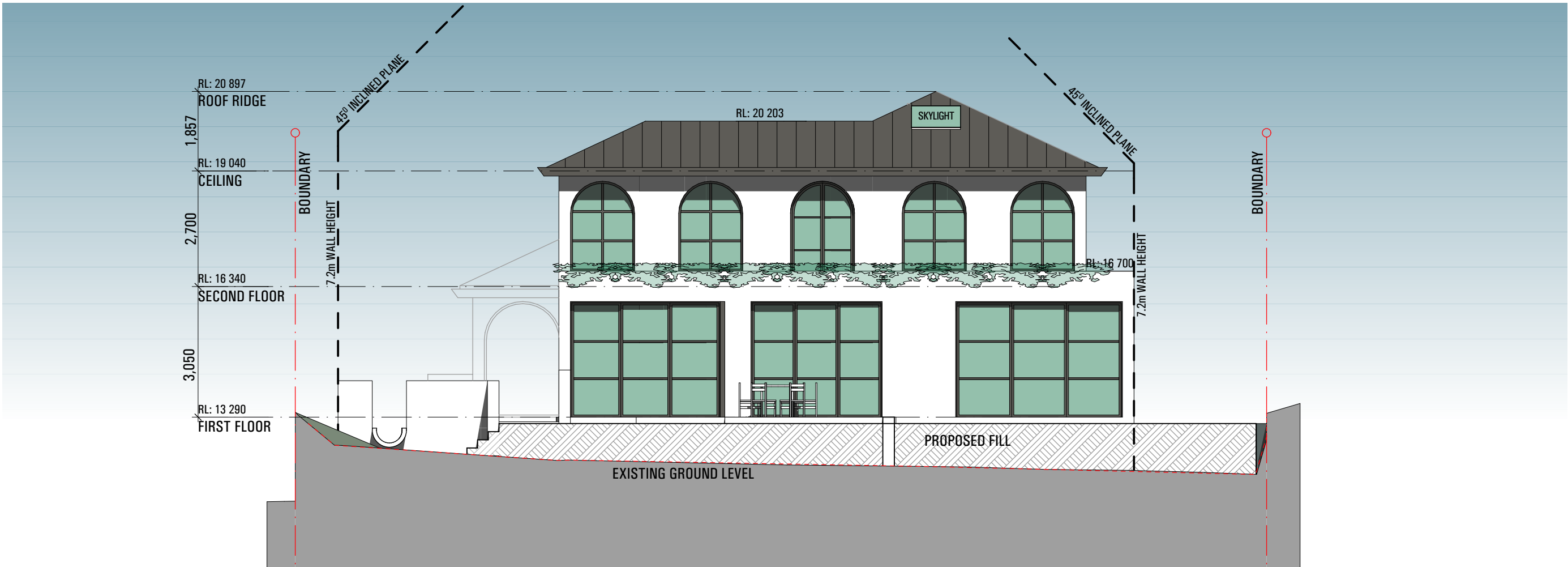
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ARCHITECTS

Nominated NSW Architects Reg. 9401 - Mark P. Alves
ABN: 37 615 694 356
Suite 4, Building B, 37 Alexandra St. Hunters Hill 2110

p: 02 8065 6975
e: mark@maparch.com.au
www.maparch.com.au



project	36 BERESFORD RD
drawing	ROSE BAY
drawn	SM
checked	MA
date	20.07.23
scale	1:100 @ A3
project no	2_21_14
drawing no	A3101
issue	D



WEST ELEVATION

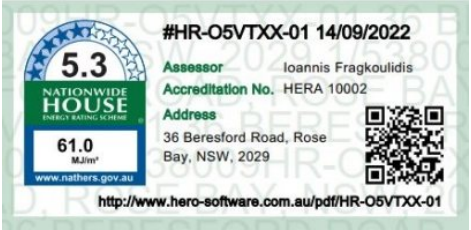
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ISSUE	AMENDMENT	DATE	NOTES
A	S4.55	10.08.22	ALL WORK SHOULD COMPLY WITH RELEVANT AUSTRALIAN STANDARDS AND BUILDING CODE OF AUSTRALIA (BCA) ALL WORK SHALL CONFORM TO THE CONTRACT DOCUMENTS WHICH INCLUDE SPECIFICATIONS, THE DRAWINGS, ALL ADDENDUMS, FINISHES SCHEDULES. ALL THE CONSTRUCTION DRAWINGS SHALL BE READ IN CONJUNCTION W/ ALL CONSULTANTS AND CONTRACTOR DRAWINGS, SCHEDULES AND SPECIFICATIONS. IN CASE OF CONFLICT BETWEEN ARCHITECTS AND CONSULTANTS DRAWINGS IN LOCATING STRUCTURAL ELEMENTS, MATERIALS / EQUIPMENT.
B	S4.55 - RFI	07.10.22	
C	S34A	02.06.23	
D	S34A	20.07.23	

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ARCHITECTS

Nominated NSW Architects Reg. 9401 - Mark P. Alves
ABN: 37 615 694 356
Suite 4, Building B, 37 Alexandra St. Hunters Hill 2110

p: 02 8065 6975
e: mark@maparch.com.au
www.maparch.com.au

project	36 BERESFORD RD
drawing	ROSE BAY
drawn	SM
checked	MA
date	20.07.23
scale	1:100 @ A3
project no	2_21_14
drawing no	A3102
issue	D



SOUTH ELEVATION

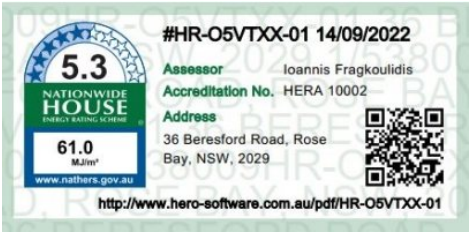
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ISSUE	AMENDMENT	DATE	NOTES
A	S4.55	10.08.22	ALL WORK SHOULD COMPLY WITH RELEVANT AUSTRALIAN STANDARDS AND BUILDING CODE OF AUSTRALIA (BCA) ALL WORK SHALL CONFORM TO THE CONTRACT DOCUMENTS WHICH INCLUDE SPECIFICATIONS, THE DRAWINGS, ALL ADDENDUMS, FINISHES SCHEDULES. ALL THE CONSTRUCTION DRAWINGS SHALL BE READ IN CONJUNCTION W/ ALL CONSULTANTS AND CONTRACTOR DRAWINGS, SCHEDULES AND SPECIFICATIONS. IN CASE OF CONFLICT BETWEEN ARCHITECTS AND CONSULTANTS DRAWINGS IN LOCATING STRUCTURAL ELEMENTS, MATERIALS / EQUIPMENT.
B	S4.55 - RFI	07.10.22	
C	S34A	02.06.23	
D	S34A	20.07.23	

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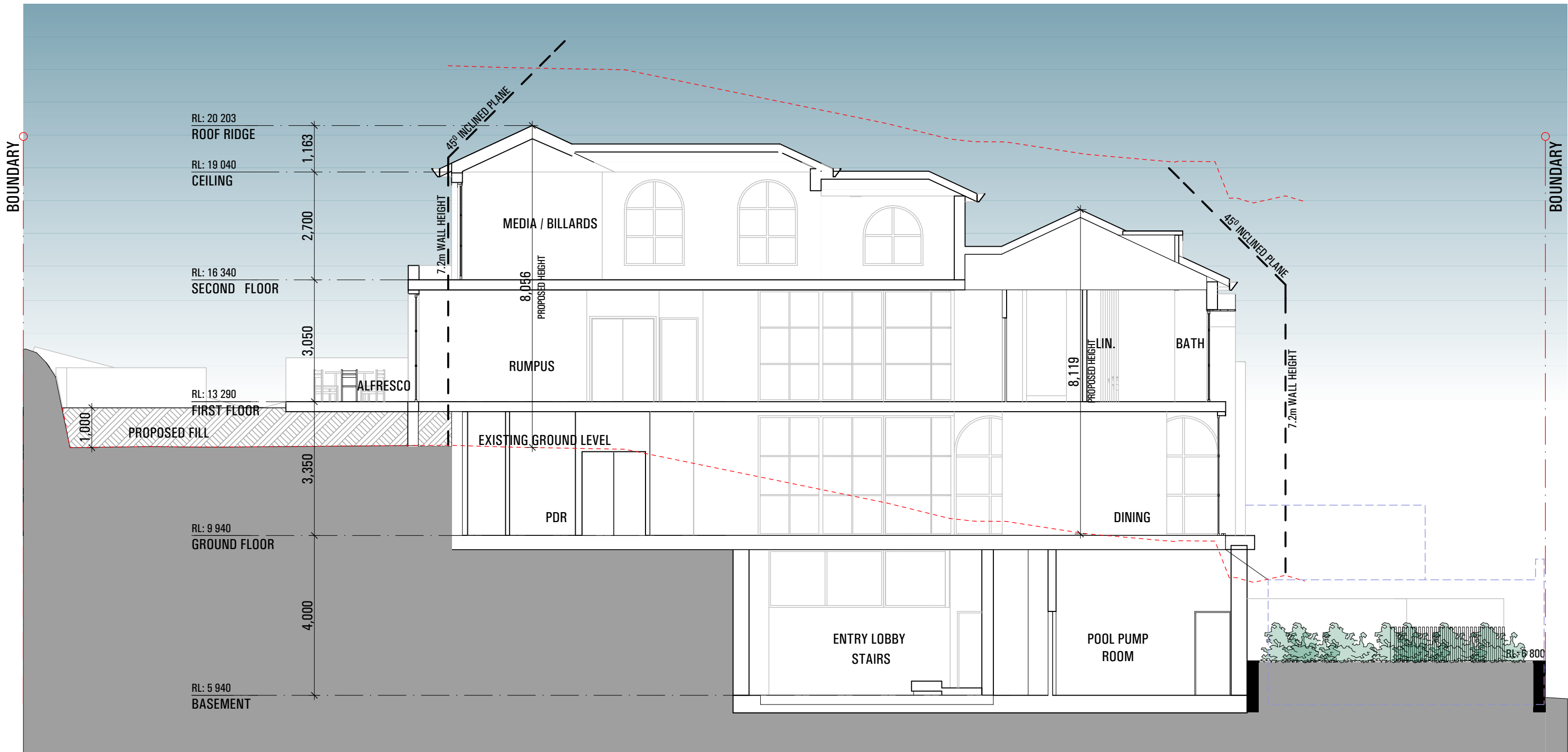
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Nominated NSW Architects Reg. 9401 - Mark P. Alves
ABN: 37 615 694 356
Suite 4, Building B, 37 Alexandra St. Hunters Hill 2110

p: 02 8065 6975
e: mark@maparch.com.au
www.maparch.com.au

project	36 BERESFORD RD
drawing	ROSE BAY
drawn	SM
checked	MA
date	20.07.23
scale	1:100 @ A3
project no	2_21_14
drawing no	A3103
issue	D



SECTION AA
1:100

ISSUE	AMENDMENT	DATE	NOTES
A	S4.55	10.08.22	ALL WORK SHOULD COMPLY WITH RELEVANT AUSTRALIAN STANDARDS AND BUILDING CODE OF AUSTRALIA (BCA) ALL WORK SHALL CONFORM TO THE CONTRACT DOCUMENTS WHICH INCLUDE SPECIFICATIONS, THE DRAWINGS, ALL ADDENDUMS, FINISHES SCHEDULES. ALL THE CONSTRUCTION DRAWINGS SHALL BE READ IN CONJUNCTION W/ ALL CONSULTANTS AND CONTRACTOR DRAWINGS, SCHEDULES AND SPECIFICATIONS. IN CASE OF CONFLICT BETWEEN ARCHITECTS AND CONSULTANTS DRAWINGS IN LOCATING STRUCTURAL ELEMENTS, MATERIALS / EQUIPMENT.
B	S34A	02.06.23	
D	S34A	20.07.23	
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- 12.23
- EXISTING RLs
 - EXISTING WALLS
 - PROPOSED WALLS
 - WALLS TO DEMOLISH

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Nominated NSW Architects Reg. 9401 - Mark P. Alves
ABN: 37 615 694 356
Suite 4, Building B, 37 Alexandra St. Hunters Hill 2110

p: 02 8065 6975
e: mark@maparch.com.au
www.maparch.com.au

project	36 BERESFORD RD ROSE BAY
drawn	SM
checked	MA
date	20.07.23
scale	1:100 @ A3
project no	2_21_14
drawing no	A3200
issue	D




ISSUE	AMENDMENT	DATE	NOTES
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B	\$4.55 - RFI	07.12.22	
C	\$34A	02.06.23	
D	\$34A	20.07.23	

The logo for MAP ARCHITECTS features a large, stylized 'M' composed of thin, intersecting lines. Below the 'M', the words 'MAP' and 'ARCHITECTS' are stacked in a clean, sans-serif, uppercase font.

MAP
ARCHITECTS

Nominated NSW Architects Reg. 9401 - Mark P. Alves
ABN: 37 615 694 356
Suite 4, Building B, 37 Alexandra St. Hunters Hill 2110

g: 02 8065 6975
e: mark@maparch.com.au
www.maparch.com.au

project		36 BERESFORD RD	
		ROSE BAY	
		drawing	
drawn		checked	SECTION CC
SM		MA	
date		scale	
20.07.23		1:100 @ A3	
project no		drawing no	issue
2 21 14		A3202	D





MAP
ARCHITECTS

36 BERESFORD RD
ROSE BAY

SECTION DD

project		36 BERESFORD RD	
drawing		ROSE BAY	
drawn SM		checked MA	
date 20.07.23		scale 1:100 @ A3	
project no 2 21 14		drawing no A3203	
issue		D	

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ABN: 37 615 694 356
Suite 4, Building B, 37 Alexandra St. Hunters Hill 2110


p: 02 8065 6975
e: mark@maparch.com.au
www.maparch.com.au

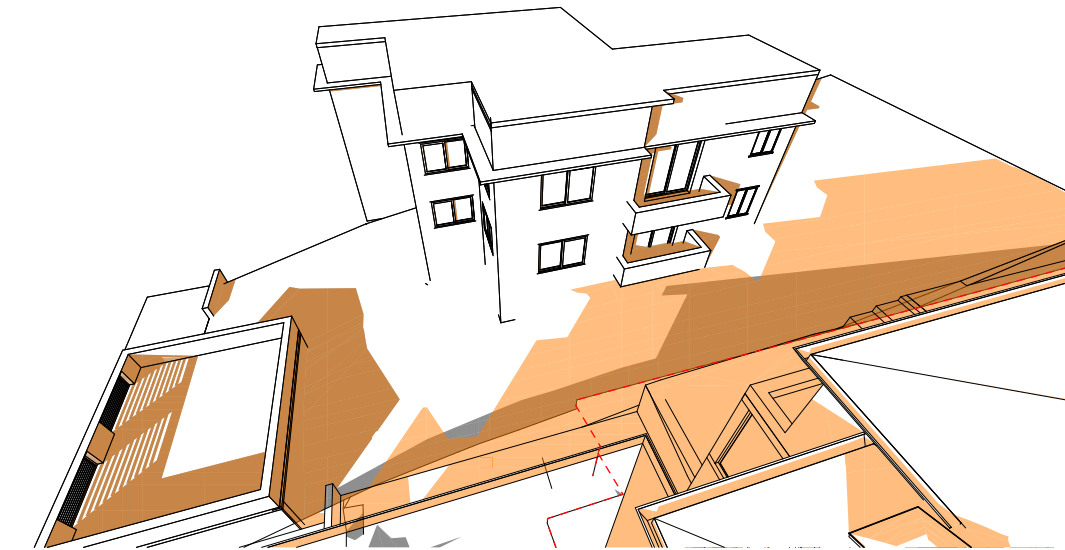


EXISTING SHADOWS
PROPOSED SHADOWS
OVERLAPPING SHADOWS
OUTLINE EXISTING BUILDING

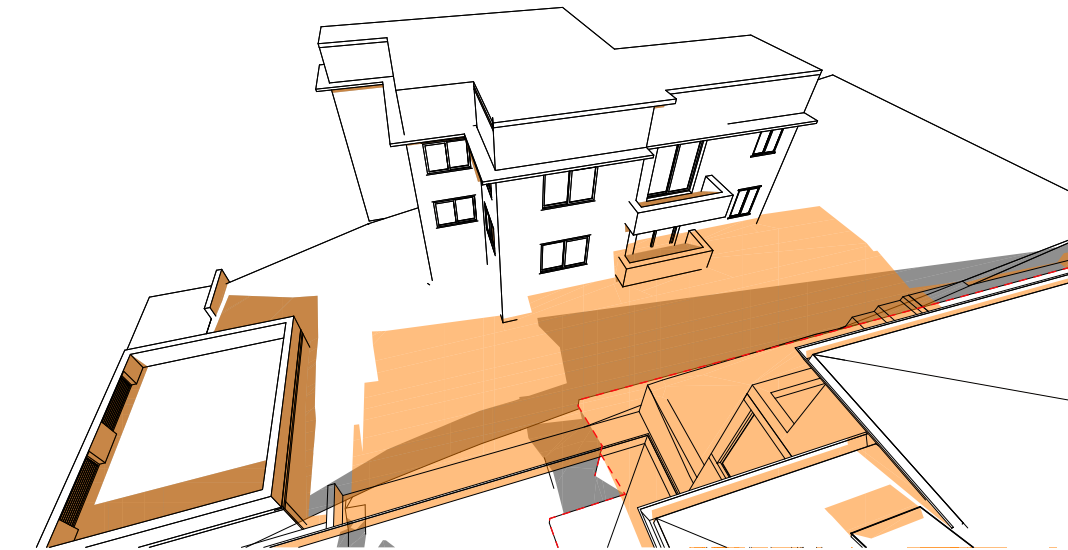
ISSUE	AMENDMENT	DATE	NOTES
A	\$4.55	10.08.22	<p>ALL WORK SHOULD COMPLY WITH RELEVANT AUSTRALIAN STANDARDS AND BUILDING CODE OF AUSTRALIA (BCA) ALL WORK SHALL CONFORM TO THE CONTRACT DOCUMENTS WHICH INCLUDE SPECIFICATIONS, THE DRAWINGS, ALL ADDENDUMS, FINISHES SCHEDULES. ALL THE CONSTRUCTION DRAWINGS SHALL BE READ IN CONJUNCTION WITH ALL CONSULTANTS AND CONTRACTOR DRAWINGS, SCHEDULES AND SPECIFICATIONS. IN CASE OF CONFLICT BETWEEN ARCHITECTS AND CONSULTANTS DRAWINGS IN LOCATING STRUCTURAL ELEMENTS, MATERIALS / EQUIPMENT.</p> <p>This drawing is issued as a preliminary concept design and must not be used for construction, cost estimation or any purposes other than for preliminary design purposes, unless noted as "for construction". Do not scale off this drawing, use figured dimensions where provided, verify all dimensions on site.</p> <p>© This drawing and the design contained herein, in whole or in part, is subject to copyright and cannot be reproduced in whole or in any part without the written permission of map architects Pty Ltd.</p>
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C	\$34A	02.06.23	
D	\$34A	20.07.23	



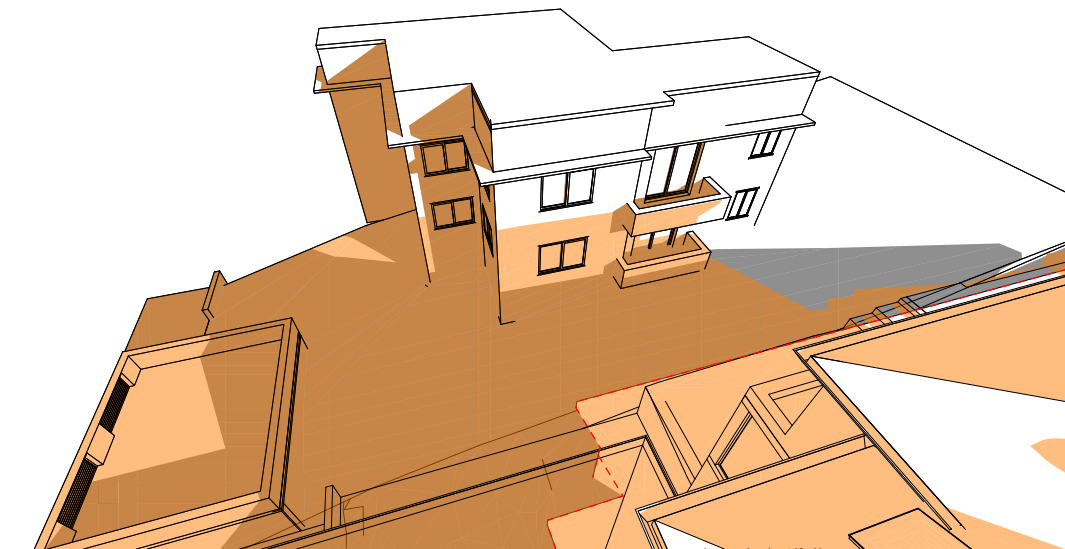
project			36 BERESFORD RD		
drawing			ROSE BAY		
			NORTH ELEVATION		
drawn SM			checked MA		
date 20.07.23			scale 1:100 @ A3		
project no 2 21 14		drawing no A4001		issue D	



PROPOSED JUNE 21st - 9am
1:250







PROPOSED JUNE 21st - 12pm
1:250



PROPOSED JUNE 21st - 3pm
1:250

LEGEND

- EXISTING SHADOWS 
- PROPOSED SHADOWS 
- OVERLAPPING SHADOWS 
- OUTLINE EXISTING BUILDING 

ISSUE	AMENDMENT	DATE	NOTES
A	S4.55	10.08.22	ALL WORK SHOULD COMPLY WITH RELEVANT AUSTRALIAN STANDARDS AND BUILDING CODE OF AUSTRALIA (BCA) ALL WORK SHALL CONFORM TO THE CONTRACT DOCUMENTS WHICH INCLUDE SPECIFICATIONS, THE DRAWINGS, ALL ADDENDUMS, FINISHES SCHEDULES. ALL THE CONSTRUCTION DRAWINGS SHALL BE READ IN CONJUNCTION W/ ALL CONSULTANTS AND CONTRACTOR DRAWINGS, SCHEDULES AND SPECIFICATIONS. IN CASE OF CONFLICT BETWEEN ARCHITECTS AND CONSULTANTS DRAWINGS IN LOCATING STRUCTURAL ELEMENTS, MATERIALS / EQUIPMENT.
B	S4.55 - RFI	07.10.22	
C	S34A	02.06.23	
D	S34A	20.07.23	

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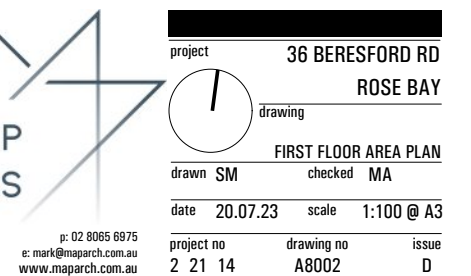
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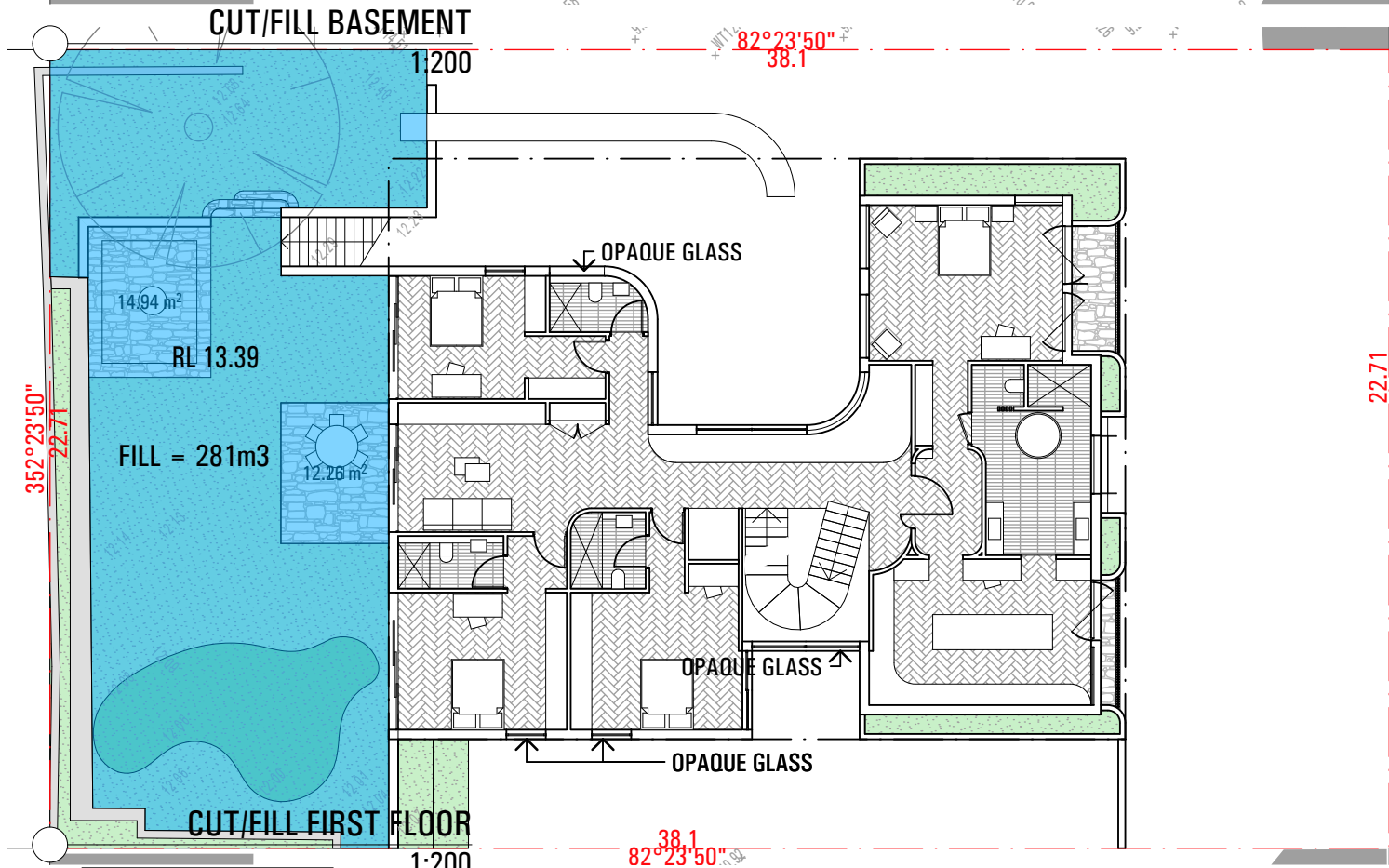
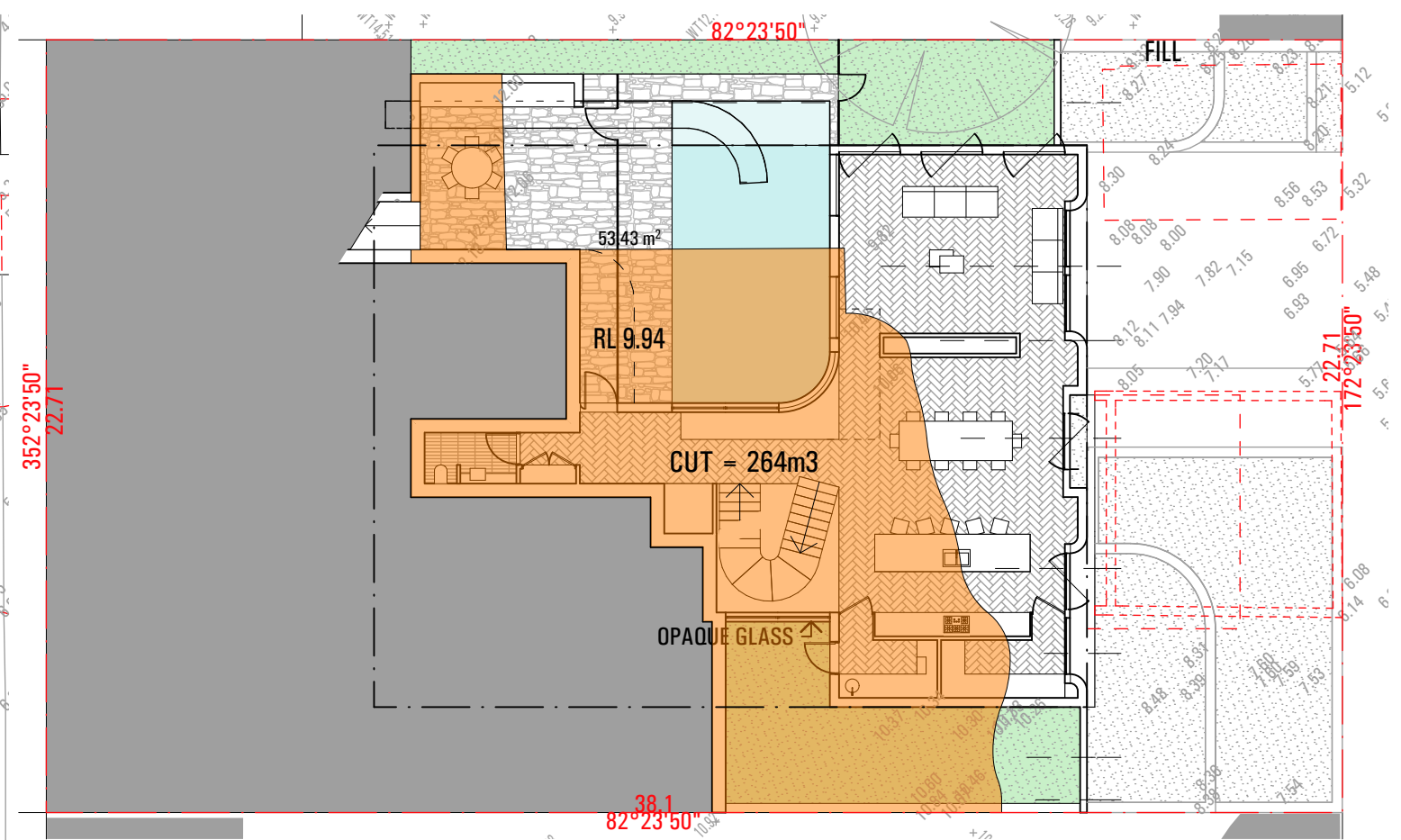
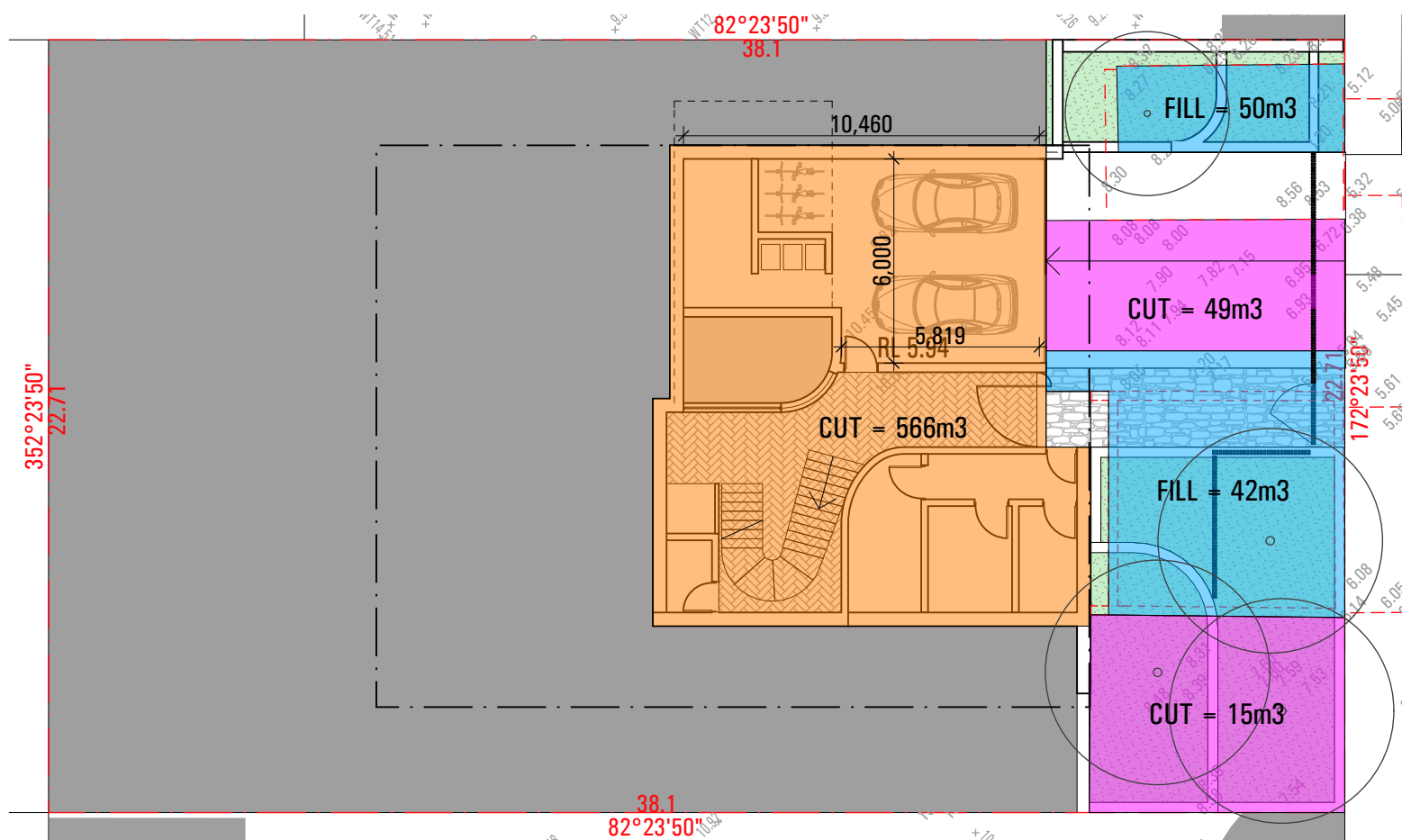


Nominated NSW Architects Reg. 9401 - Mark P. Alves
ABN: 37 615 694 356
Suite 4, Building B, 37 Alexandra St. Hunters Hill 2110

p: 02 8065 6975
e: mark@maparch.com.au
www.maparch.com.au

project	36 BERESFORD RD ROSE BAY		
drawing	NORTHERN ELEVATION SHADOW DIAGRAMS		
drawn	SM	checked	MA
date	20.07.23	scale	1:100 @ A3
project no	2_21_14	drawing no	A4002
		issue	D





PROPOSED S34A CALCULATIONS

ALLOWABLE EXCAVATION	230m ³
VOLUME (m ³)	
TOTAL CUT	894m ³
TOTAL FILL	373m ³
NET VOLUME	521m ³

CUT

CUT FRONT SETBACK

FILL

ISSUE	AMENDMENT	DATE	NOTES
A	S4.55	10.08.22	ALL WORK SHOULD COMPLY WITH RELEVANT AUSTRALIAN STANDARDS AND BUILDING CODE OF AUSTRALIA (BCA) ALL WORK SHALL CONFORM TO THE CONTRACT DOCUMENTS WHICH INCLUDE SPECIFICATIONS, THE DRAWINGS, ALL ADDENDUMS, FINISHES SCHEDULES. ALL THE CONSTRUCTION DRAWINGS SHALL BE READ IN CONJUNCTION W/ ALL CONSULTANTS AND CONTRACTOR DRAWINGS, SCHEDULES AND SPECIFICATIONS. IN CASE OF CONFLICT BETWEEN ARCHITECTS AND CONSULTANTS DRAWINGS IN LOCATING STRUCTURAL ELEMENTS, MATERIALS / EQUIPMENT.
B	S34A	02.06.23	
D	S34A	20.07.23	

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EXISTING RLs

EXISTING WALLS

PROPOSED WALLS

WALLS TO DEMOLISH

MAP ARCHITECTS

project 36 BERESFORD RD ROSE BAY

drawing CUT/FILL AREA PLAN 01

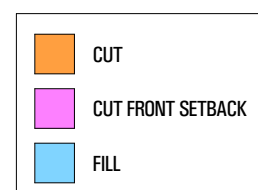
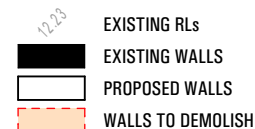
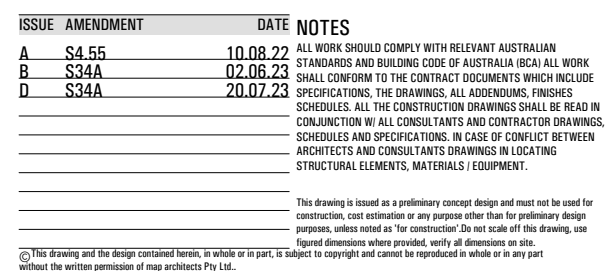
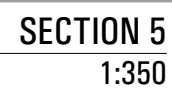
drawn SM checked MA

date 20.07.23 scale 1:100 @ A3

project no 2_21_14 drawing no A8005 issue D

Nominated NSW Architects Reg. 9401 - Mark P. Alves
ABN: 37 615 694 356
Suite 4, Building B, 37 Alexandra St. Hunters Hill 2110

p: 02 8065 6975
e: mark@maparch.com.au
www.maparch.com.au



Nominated NSW Architects Reg. 9401 - Mark P. Alves
ABN: 37 615 694 356
Suite 4, Building B, 37 Alexandra St. Hunters Hill 2110

p: 02 8065 6975
e: mark@maparch.com.au
www.maparch.com.au

project		36 BERESFORD RD	
drawing		ROSE BAY	
drawn SM		CUT/FILL AREA PLAN 02	
date 20.07.23		checked MA	
project no 2 21 14		drawing no A8006	
		issue D	



WHITE BALUSTRADE



WHITE TUSCAN RENDER



BLACK WINDOW FRAMES



SANSTONE CLADDING



MONUMENT STANDING SEAM ROOF

ISSUE	AMENDMENT	DATE	NOTES
-------	-----------	------	-------

A	S4.55	10.08.22	
B	S34A	02.06.23	
D	S34A	20.07.23	

ALL WORK SHOULD COMPLY WITH RELEVANT AUSTRALIAN STANDARDS AND BUILDING CODE OF AUSTRALIA (BCA) ALL WORK SHALL CONFORM TO THE CONTRACT DOCUMENTS WHICH INCLUDE SPECIFICATIONS, THE DRAWINGS, ALL ADDENDUMS, FINISHES SCHEDULES. ALL THE CONSTRUCTION DRAWINGS SHALL BE READ IN CONJUNCTION W/ ALL CONSULTANTS AND CONTRACTOR DRAWINGS, SCHEDULES AND SPECIFICATIONS. IN CASE OF CONFLICT BETWEEN ARCHITECTS AND CONSULTANTS DRAWINGS IN LOCATING STRUCTURAL ELEMENTS, MATERIALS / EQUIPMENT.

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12.23

EXISTING RLs

EXISTING WALLS

PROPOSED WALLS

WALLS TO DEMOLISH

MAP
ARCHITECTS

Nominated NSW Architects Reg. 9401 - Mark P. Alves
ABN: 37 615 694 356
Suite 4, Building B, 37 Alexandra St. Hunters Hill 2110

p: 02 8065 6975
e: mark@maparch.com.au
www.maparch.com.au

project 36 BERESFORD RD

ROSE BAY

drawing

PERSPECTIVES

drawn SM checked MA

date 20.07.23 scale 1:100 @ A3

project no	drawing no	issue
2_21_14	A9000	D